

INSPECTION REPORT



For the Property at:
123 SOUTH MAIN STREET
NORTH CANTON, OH 44720

Prepared for: JOHN DOE
Inspection Date: Friday, December 3, 2021
Prepared by: Goran Atanackovic



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SUMMARY

123 South Main Street, North Canton, OH December 3, 2021

Report No. 1268, v.3

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SUMMARY

ROOFING

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REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Multiple disconnects](#)

This panel has multiple disconnects. To turn off power to the entire home, it appears that you will need to switch off all the breakers. The breaker labeled as the main is only 60 amps, which will not shut off power to the entire panel when flipped. This is different from a standard panel that only requires one breaker to shut off the power to the whole house. The panel should be evaluated by a licensed electrician to determine if the main 60 amp breaker along with 5 other breakers, when flipped to the off position, will shut down the power to the entire panel. If the panel is unable to be shut down with 6 or less breakers, the panel should be upgraded.

Implication(s): Electric shock

Location: Basement

Task: Further evaluation

SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

Condition: • [Illegal taps](#)

Illegal taps were observed on the bus bar. An illegal tap occurs when two wires (ground and neutral) or (neutral and neutral) and three or more grounds are under the same lug on a bus bar. If both the neutral and grounded conductor is under the same terminal, equipment ground cannot be accomplished.

Implication(s): Electric shock | Fire hazard

Location: Basement Panel

Task: Correct

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

This 3-prong outlet is ungrounded. Due to its location, a Gfci (ground fault circuit interrupter) is needed because moisture can create an electrical hazard. The Gfci should be labeled as no ground for safety.

Implication(s): Electric shock

Location: Front Exterior Wall

Task: Correct

Heating

FURNACE \ Cabinet

Condition: • [Rust](#)

Rust and water was observed to the upper corner of the cabinet. I recommend hiring a qualified HVAC contractor to evaluate and repair what could be causing the leak.

Implication(s): Material deterioration | Reduced system life expectancy

Location: Basement

Task: Service

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Plumbing

SUPPLY PLUMBING \ Water service pipe

Condition: • [Leak](#)

There's a small leak at the threaded pipe. The leak should be repaired to avoid damage to the vanity.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Second Floor Bathroom

Task: Repair

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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The home is considered to face: • South

Sloped roofing material:

- [Asphalt shingles](#)



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Sloped roof flashing material: • Metal

Typical life expectancy: • 25-30 years

Roof Shape: • Gable

Limitations

Roof inspection limited/prevented by: • Slope of yard inhibiting proper ladder placement.



Inspection performed: • From roof edge

Recommendations

SLOPED ROOFING \ Asphalt shingles

Condition: • [Granule loss](#)

The shingles have suffered granular loss and the fiberglass mat is exposed in areas. Granular loss is normal but the designed protection from shingles decreases. The shingles are in relatively good shape and those areas should be monitored for further deterioration. No leaks were detected during the inspection on the inside of the home. The shingles will need to be replaced in the future.

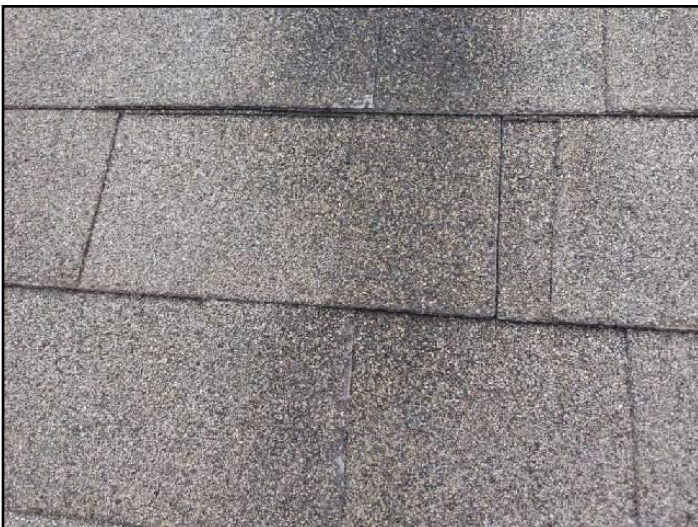
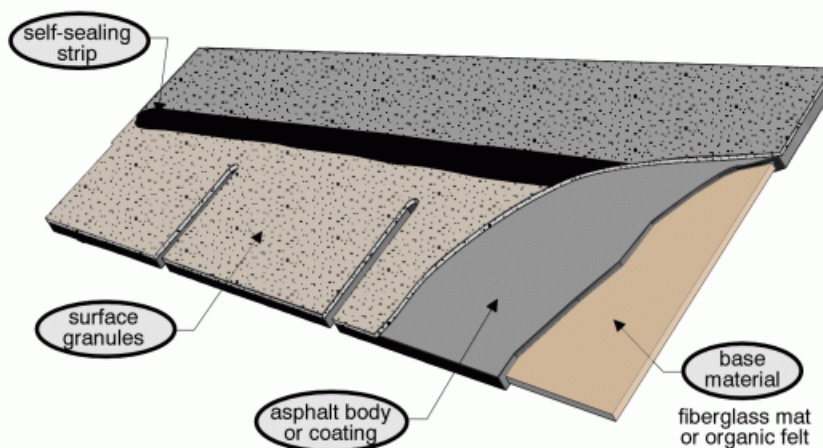
Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout Home

Task: Monitor

Time: Ongoing

Asphalt shingle composition



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Condition: • Debris/moss

Moss is growing between the shingles. This can prematurely deteriorate the shingles and the sheathing below. I recommend cleaning the moss with a mild solution to prevent premature damage.

Implication(s): Shortened life expectancy of material

Location: Rear of Garage and Home

Task: Clean



SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

Condition: • [Kickout flashing - missing](#)

Kick-out flashing is missing in this location. kick-out flashing directs water away from the adjoining wall and ensures that the step flashing is not concentrating water on the surface of that wall.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear of Home Northeast Side

Task: Improve

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SLOPED ROOF FLASHINGS \ Pipe/stack flashings

Condition: • The sealant is beginning to crack and has slightly deteriorated. This may be a vulnerable area for moisture intrusion during inclement weather. The sealant should be improved when time is practical.

Location: Front of Home

Task: Improve and Monitor



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Gutter & downspout material: • [Galvanized steel](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Below grade](#)

Lot slope: • [Away from building](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Vinyl](#)

Wall surfaces and trim:

• [Metal siding](#)



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Retaining wall:

- [Masonry](#)



Driveway:

- Concrete

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Walkway:

- Concrete



Window Shutters/Panels: • Decorative shutters

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Porch:

- Concrete



Exterior steps: • Concrete

Patio:

- Concrete



Garage: • Attached

Garage vehicle doors: • Present

Garage vehicle door operator (opener): • Present

Recommendations

ROOF DRAINAGE \ Gutters

Condition: • Damage

The edge of the gutter is damaged. Due to the damage the angle of the gutter is improper. This may allow water to not drain into the gutter properly.

Location: Front, Above Garage

Task: Improve



ROOF DRAINAGE \ Downspouts

Condition: • [Discharge onto roofs](#)

The downspout are discharging onto the roofing material. This may prematurely deteriorate the shingles and may cause damage to the sheathing below. Downspouts should extend to the gutter directly below for proper drainage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear of Garage and Home

Task: Improve

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Downspout running across roof

installing a downspout (from the secondary roof to the main gutter below) helps prevent localized roof wear



WALLS \ Metal siding

Condition: • [Loose or missing pieces](#)

The siding has loosened. This may be a vulnerable area during high winds. The siding should be secured properly.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear of Home

Task: Improve

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Condition: • These are vulnerable areas to moisture intrusion. Approved sealant should be applied in these areas to prevent moisture issues.

Location: Southeast Corner of Home

Task: Improve



EXTERIOR GLASS/WINDOWS \ Frames

Condition: • [Rust](#)

The metal frame has rusted over time due to being exposed. The frame should be scraped and painted for protection.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

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Location: Northeast Basement Window

Task: Improve



PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

Condition: • The concrete has cracked. This is a vulnerable area for moisture intrusion and further damage. Approve sealant should be applied to the crack and monitored.

Location: Front of Home

Task: Improve and Monitor



PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Patios

Condition: • Unsealed gap at building

Void spaces were observed between the porch and foundation. An approved sealant should be applied to this area to prevent moisture intrusion.

Implication(s): Chance of water entering building

Location: Front of Home

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Task: Improve and Monitor



LANDSCAPING \ Lot grading

Condition: • [Improper slope or drainage](#)

The grading is flat to negative, allowing water to drain towards the foundation wall. I recommend improving this by grading the soil back, bringing in topsoil, and grading the topsoil away from the foundation walls for proper water drainage. If left untreated, water will eventually cause the blocks to deteriorate and water may enter the structures. A window well maybe required at the front basement window to improve the grading. If a well is installed, a plastic well cover should be installed to prevent moisture issues.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear and Front of Home

Task: Improve

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Recommended grading slopes



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LANDSCAPING \ Walkway

Condition: • [Cracked or damaged surfaces](#)

The concrete has cracked over time due to settlement. The crack should be filled with an approved sealant to prevent further cracking and damage.

Implication(s): Trip or fall hazard

Location: Front of Home

Task: Improve and Monitor



LANDSCAPING \ Patios

Condition: • Cracked or damaged surfaces

The patio has cracked due to settlement over time. The patio should be sealed with an approved sealant to prevent further cracking and damage.

Implication(s): Physical injury

Location: Rear of Home

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Task: Improve and Monitor



Condition: • Unsealed gap at building

The gap between the patio and the house foundation is not sealed. This is a vulnerable area for moisture intrusion and potential damage to the foundation wall over time. This area should be sealed with an approved sealant to prevent any moisture issues.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear of Home

Task: Improve and Monitor

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LANDSCAPING \ Driveway

Condition: • [Cracked or damaged surfaces](#)

The driveway has cracked due to settlement. The crack should be sealed with an approved sealant to prevent further cracking and damage.

Implication(s): Trip or fall hazard

Location: Driveway Near Garage

Task: Improve and Monitor

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LANDSCAPING \ Retaining wall

Condition: • The top caps are not glued to the blocks. Appropriate adhesive should be applied to the top caps for increased wall durability and to help restrict wall movement.

Location: Throughout Retaining Wall

Task: Improve



GARAGE \ Vehicle doors

Condition: • Weatherstripping damaged or missing.

The weather stripping at the base of the garage door has deteriorated. Weather stripping is designed to insulate the garage and to prevent moisture / pest intrusion.

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Location: Garage

Task: Improve



STRUCTURE

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Configuration: • [Basement](#)

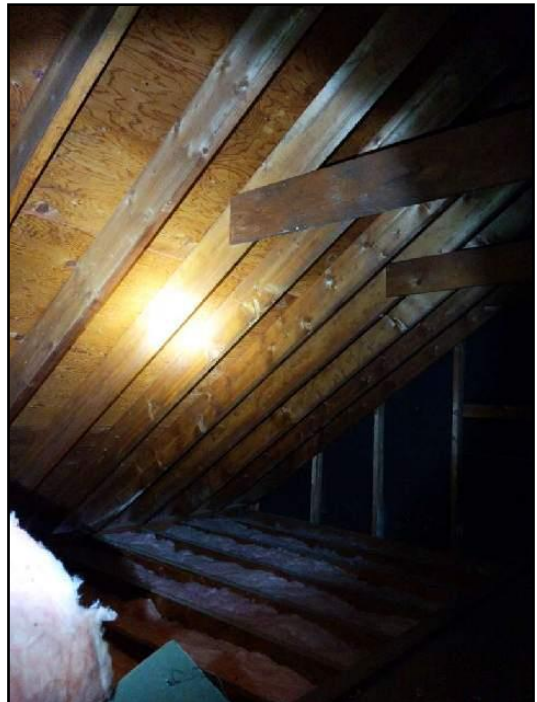
Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#) • [Concrete](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing:

• Rafter/ceiling joists



Location of access to under-floor area: • Basement

Limitations

Inspection limited/prevented by:

- Ceiling, wall and floor coverings
- Partial Finished Basement

Recommendations

FLOORS \ Columns or piers

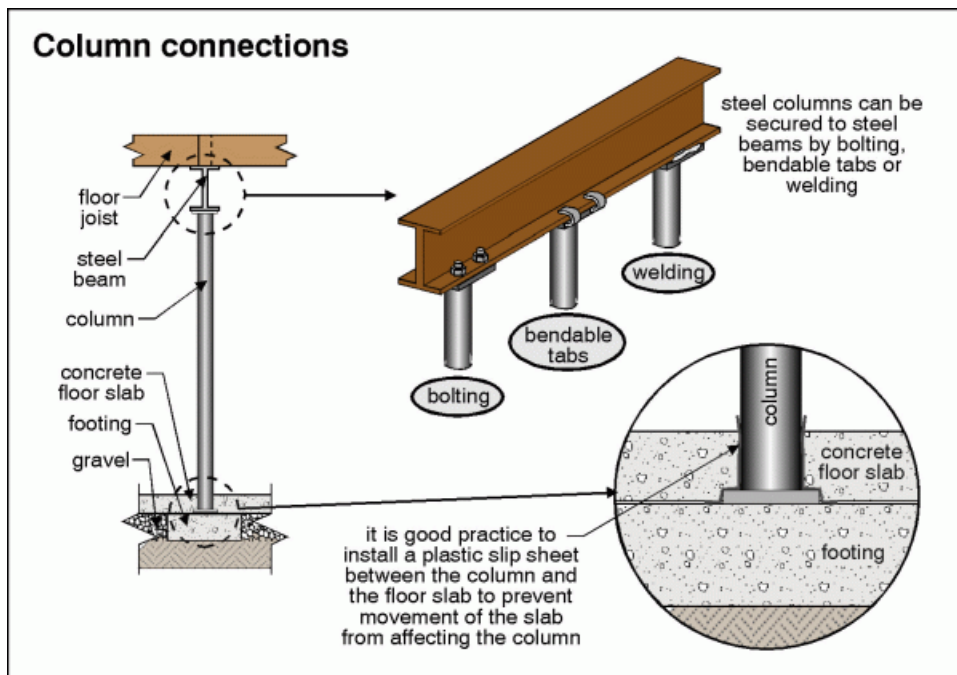
Condition: • [Poorly secured at top or bottom](#)

The columns should be secured on top for better support. The columns should be secured with 1/2" diameter x 2-1/2" long lag screws with 1/2" flat washers. The concrete floor should be monitored for cracks which may lead to the columns shifting.

Implication(s): Weakened structure | Chance of structural movement

Location: Basement

Task: Improve and Monitor



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Description

Service size: • 100-150 amps

Main disconnect/service box type and location:

- [Breakers - basement](#)



Electrical panel manufacturers: • Square D

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors):

- [Present](#)

Second and first floor hall



Carbon monoxide (CO) alarms (detectors):

- Present

Second and first floor hall



Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Multiple disconnects](#)

This panel has multiple disconnects. To turn off power to the entire home, it appears that you will need to switch off all the breakers. The breaker labeled as the main is only 60 amps, which will not shut off power to the entire panel when flipped. This is different from a standard panel that only requires one breaker to shut off the power to the whole house. The panel should be evaluated by a licensed electrician to determine if the main 60 amp breaker along with 5 other breakers, when flipped to the off position, will shut down the power to the entire panel. If the panel is unable to be shut down with 6 or less breakers, the panel should be upgraded.

Implication(s): Electric shock

Location: Basement

Task: Further evaluation



SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

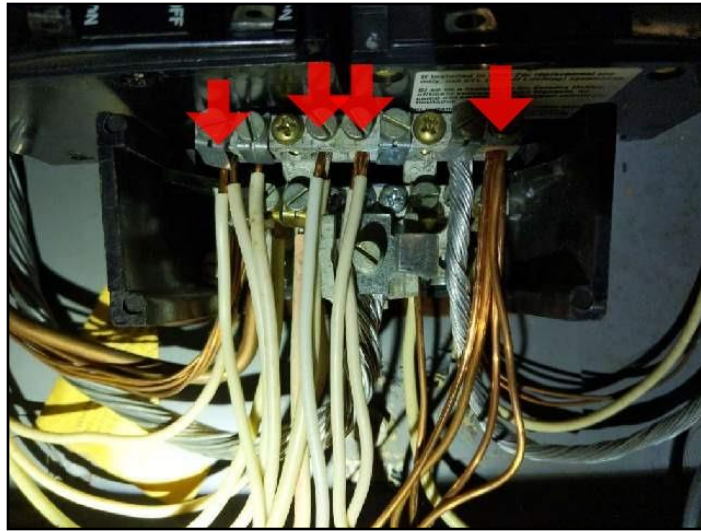
Condition: • [Illegal taps](#)

Illegal taps were observed on the bus bar. An illegal tap occurs when two wires (ground and neutral) or (neutral and neutral) and three or more grounds are under the same lug on a bus bar. If both the neutral and grounded conductor is under the same terminal, equipment ground cannot be accomplished.

Implication(s): Electric shock | Fire hazard

Location: Basement Panel

Task: Correct



DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Ground needed for 3-slot outlet](#)

The 3-prong outlets are ungrounded. The outlets should be reverted back to a 2-prong outlet, or replace the outlets to gfci outlets and label the outlets as no ground, or install a gfci breaker in the electrical panel.

Implication(s): Electric shock

Location: Basement

Task: Correct



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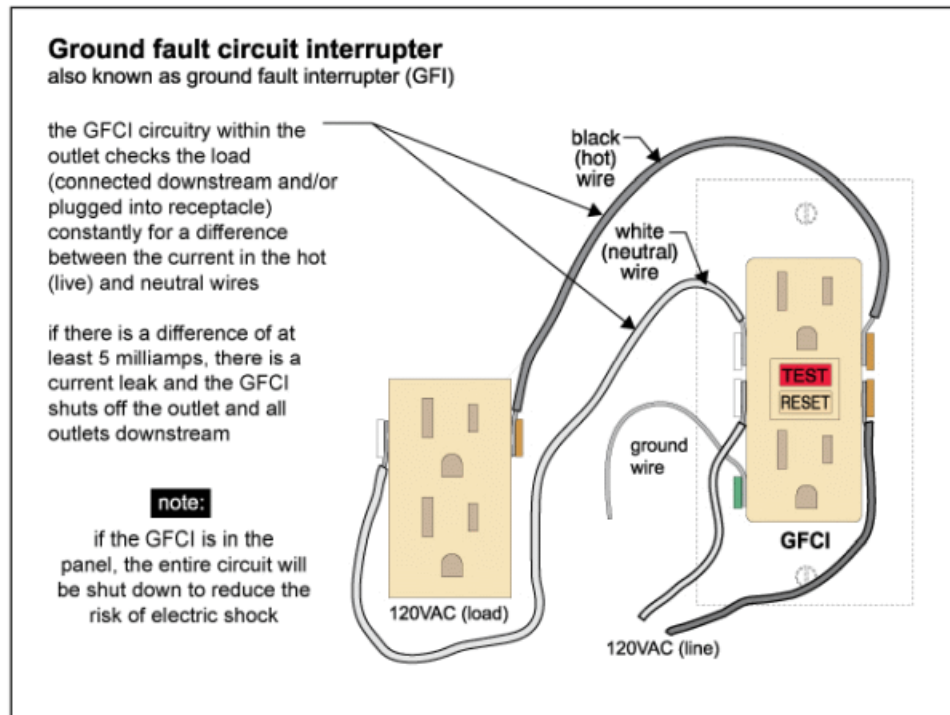
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Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

This 3-prong outlet is ungrounded. Due to its location, a Gfci (ground fault circuit interrupter) is needed because moisture can create an electrical hazard. The Gfci should be labeled as no ground for safety.

Implication(s): Electric shock

Location: Front Exterior Wall**Task:** Correct**DISTRIBUTION SYSTEM \ Cover plates****Condition:** • [Missing](#)

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A cover plate is missing. I recommend installing a cover plate for safety.

Implication(s): Electric shock

Location: Unfinished Basement

Task: Correct



DISTRIBUTION SYSTEM \ Lights

Condition: • [Inoperative](#)

The light bulbs are inoperative. More than likely the bulbs have burned out. The bulbs should be replaced and if the lights are still inoperative, the issue should be repaired.

Implication(s): Inadequate lighting

Location: Exterior Wall Front of Home and Basement Unfinished Portion

Task: Replace Bulbs



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Missing

Smoke alarms are missing throughout the bedrooms. Smoke alarms increase life safety during a fire. Smoke alarms should be installed in every bedroom where occupants sleep for safety.

Implication(s): Safety issue

Location: Throughout All Bedrooms

Task: Improve





DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • None observed

Carbon monoxide detectors were not observed in the basement during the inspection. Carbon monoxide detectors improve life safety during a carbon monoxide leak from a faulty appliance. Carbon monoxide detectors should be installed on every floor for safety.

Implication(s): Health hazard

Location: Basement

Task: Improve

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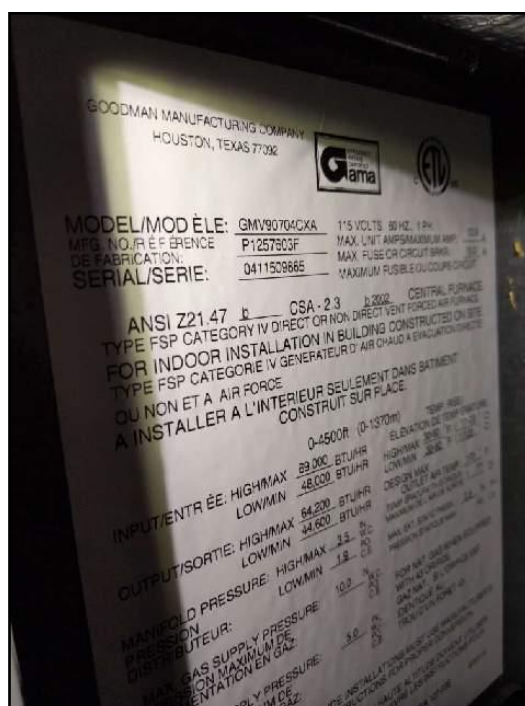
Description

Heating system type:

- [Furnace](#)

Goodman

Model number: GMV90704CXA Serial number: 0411509865



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Fuel/energy source:

- [Gas](#)



Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 69,000 btu

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent](#)

Combustion air source: • Outside

Approximate age: • [17 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at:

- Exterior wall
Southeast Corner of Home

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Fireplace/stove: • None

Chimney liner: • N/a

Location of the thermostat for the heating system:

• Dining Room



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Limitations

Heat exchanger: • Not visible

Recommendations

FURNACE \ Cabinet

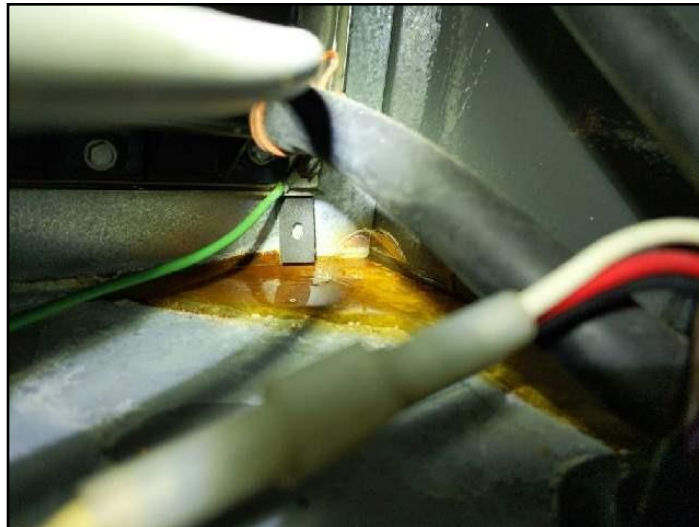
Condition: • [Rust](#)

Rust and water was observed to the upper corner of the cabinet. I recommend hiring a qualified HVAC contractor to evaluate and repair what could be causing the leak.

Implication(s): Material deterioration | Reduced system life expectancy

Location: Basement

Task: Service



COOLING & HEAT PUMP

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Air conditioning type:

- Central



Manufacturer: • TRANE

Model number: 4TTB3030E1000AA **Serial number:** 12207R625F



COOLING & HEAT PUMP

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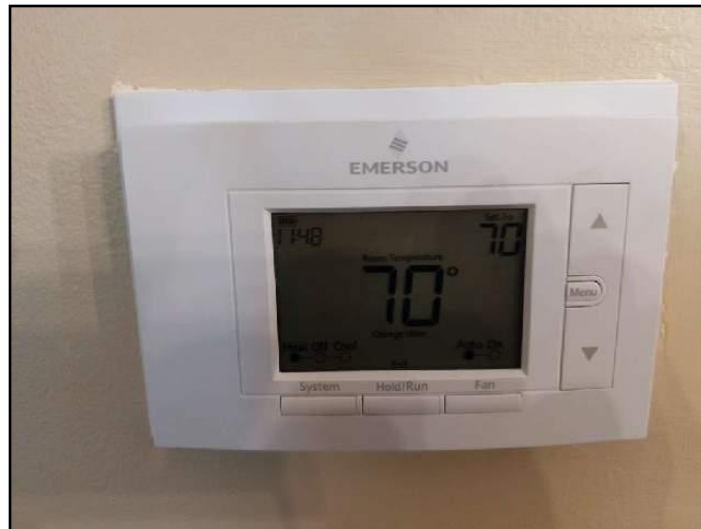
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Typical life expectancy: • 12 to 15 years

Location of the thermostat for the cooling system:

- Dining Room



Limitations

Inspection limited/prevented by:

- Low outdoor temperature

The air conditioner operated for a short period of time. I was unable to determine a temperature differential due to the low outdoor temperature.

Recommendations

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

The air conditioner operated properly during the inspection, however, due to the age of the condenser the unit should be serviced by a qualified HVAC technician to prolong its life.

Implication(s): Equipment failure | Reduced comfort

Location: Rear of Home

Task: Service

COOLING & HEAT PUMP

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AIR CONDITIONING \ Refrigerant lines

Condition: • [Insulation - missing](#)

The insulation has deteriorated around the refrigerant line. This will cause the refrigerant to lose its cooling effectiveness. I recommend insulating the line for proper cooling capacity.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: Rear of Home

Task: Improve

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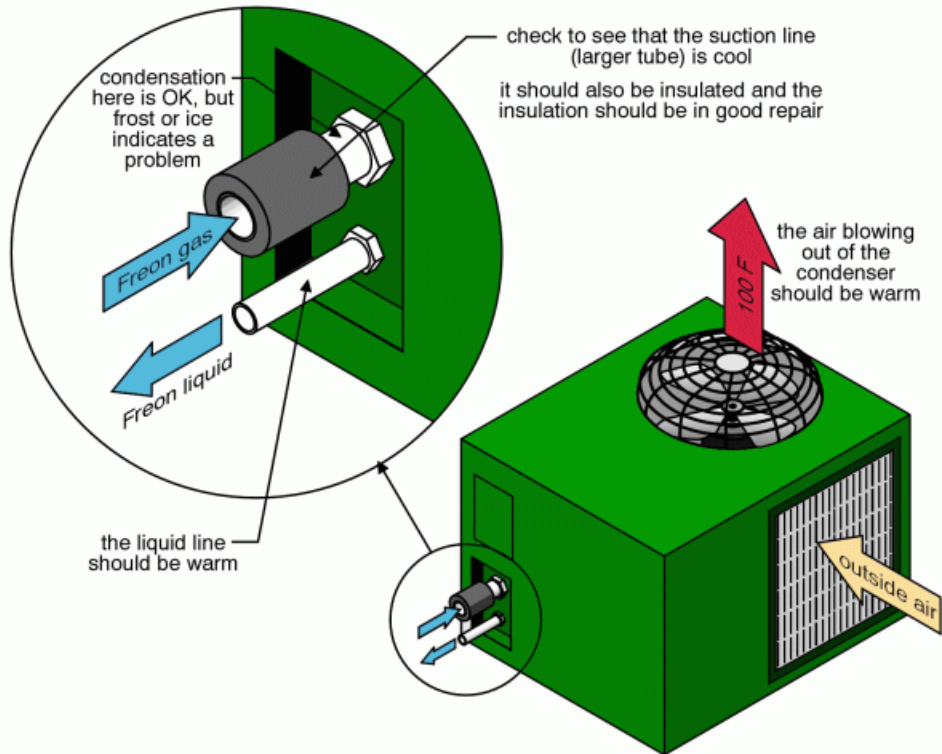
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Inspecting the condenser unit



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Description

Attic/roof insulation material:

- [Glass fiber](#)



Attic/roof insulation amount/value:

- [R-20](#)

Above Garage

- [R-40](#)

Crawlspace

INSULATION AND VENTILATION

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Attic/roof air/vapor barrier: • [Not visible](#)

Attic/roof ventilation: • [Soffit vent](#) • [Gable vent](#) • [Ridge vent](#)

Wall insulation amount/value: • R40

Floor above basement/crawlspace insulation amount/value: • Not visible

Limitations

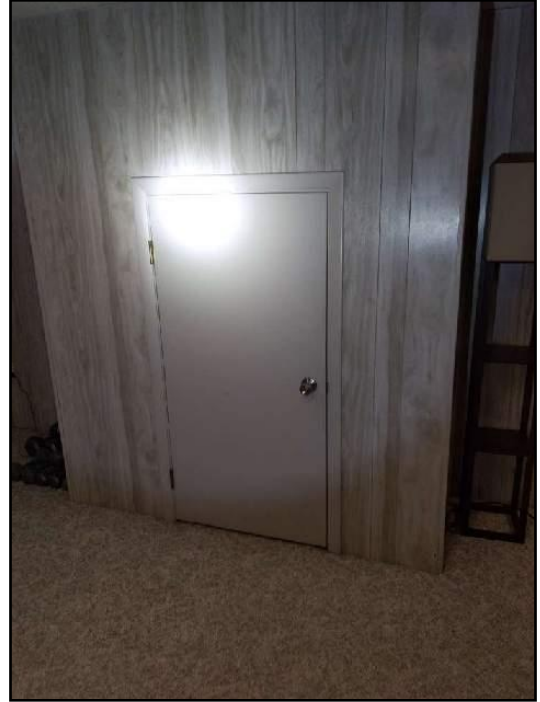
Attic inspection performed: • From access hatch • By entering attic, but access was limited

Description

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Basement



Water heater type:

- Tank

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Water heater fuel/energy source:

- [Gas](#)



Water heater manufacturer:

- Rheem

Model number: PRO G40S-38N RH62 *Serial number:* Q521505451

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 6 years

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Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building:

- [Cast iron](#)



Main gas shut off valve location:

- Exterior
Southeast Corner of Home



Limitations

Inspection limited/prevented by:

- Water supply turned off
- Rear and front hose bibs and garage faucet



Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

SUPPLY PLUMBING \ Water service pipe

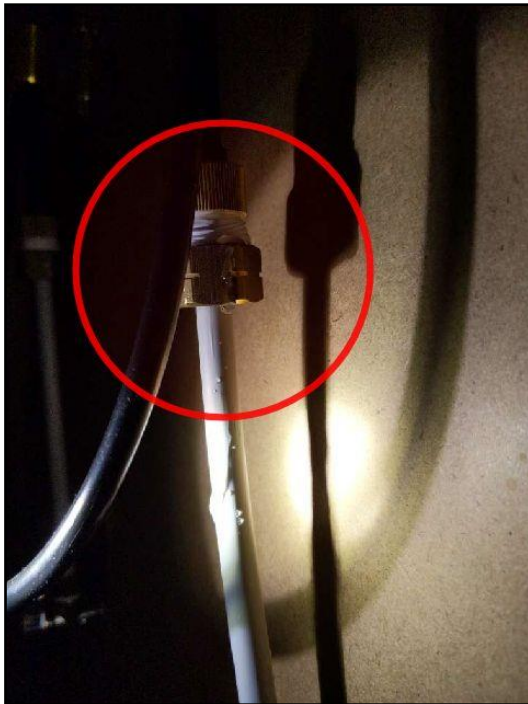
Condition: • [Leak](#)

There's a small leak at the threaded pipe. The leak should be repaired to avoid damage to the vanity.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Second Floor Bathroom

Task: Repair



WASTE PLUMBING \ Traps - installation

Condition: • [Wrong type](#)

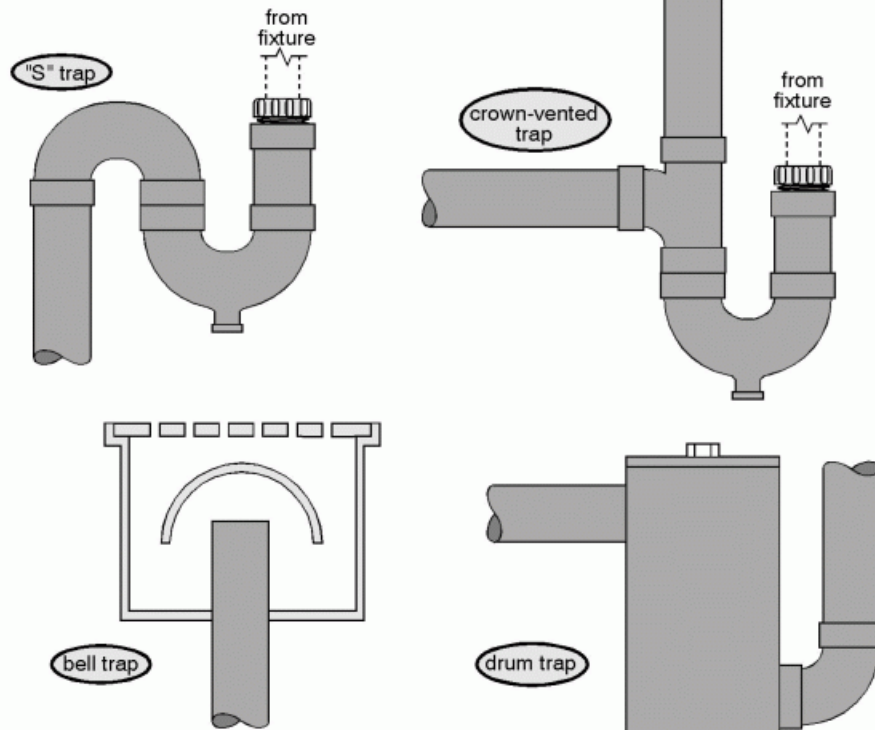
The purpose of a trap is to prevent sewer gases, and possibly vermin, from entering the home. The reason "S" traps aren't allowed is because they have the potential to suck, or 'siphon', water out of the trap as the water flows down the drain.

Implication(s): Sewer gases entering the building

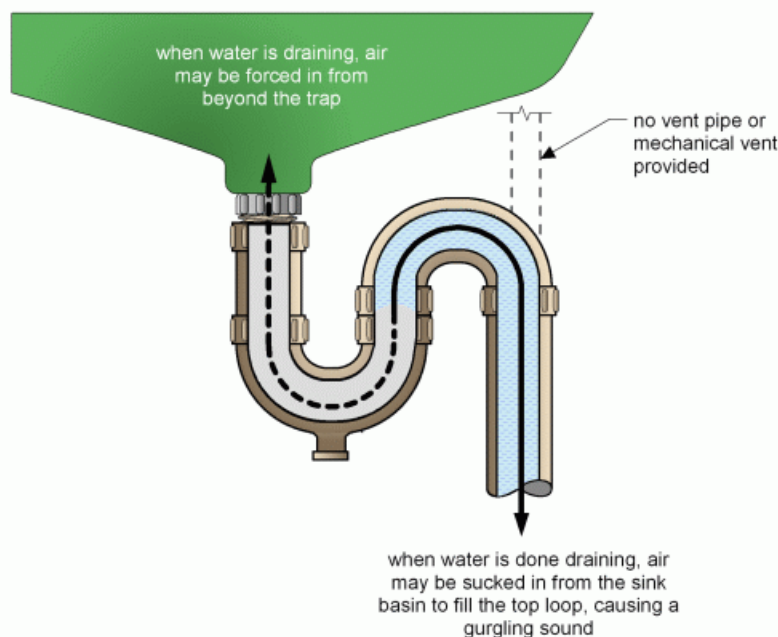
Location: Second Floor Bathroom

Task: Correct

Illegal traps



S-traps can lead to siphoning



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FIXTURES AND FAUCETS \ Faucet

Condition: • [Drip, leak](#)

The diverter leaked when activated. The diverter should be repaired or replaced for improved water flow and pressure at the shower head.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Second Floor Bathroom

Task: Repair or Replace

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FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • [Slow drains](#)

The sink in the bathroom has a slow drain. Typically the cause of a slow draining sink is a clog that is restricting water flow. Clogs are usually made up of knotted hair, dirt, grease, and soap. A plumber's snake can be used to snag and remove stubborn clogs. If that doesn't work, the drain should be scoped.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Improve

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Condition: • [Slow drains](#)

The laundry tub has a slow drain. Typically the cause of a slow draining sink is a clog that is restricting water flow. Clogs are usually made up of knotted hair, dirt, grease, and soap. A plumber's snake can be used to snag and remove stubborn clogs. If that doesn't work, the drain should be scoped.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement

Task: Improve



FIXTURES AND FAUCETS \ Bathtub

Condition: • Drain stop missing

The drain stop is missing. Drain stops keep water in the bathtub when desired and allow the tub to be emptied again.

Implication(s): Reduced operability

Location: First Floor Bathroom

Task: Improve



FIXTURES AND FAUCETS \ Shower stall enclosure

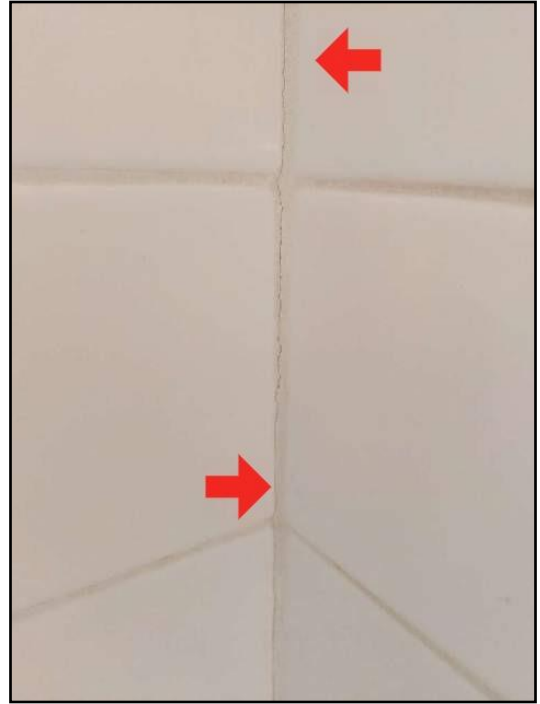
Condition: • [Grout loose, missing or deteriorated](#)

The grout is beginning to deteriorate. Slight voids were observed. The grout should be improved to prevent moisture intrusion behind the tile wall.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Improve



FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

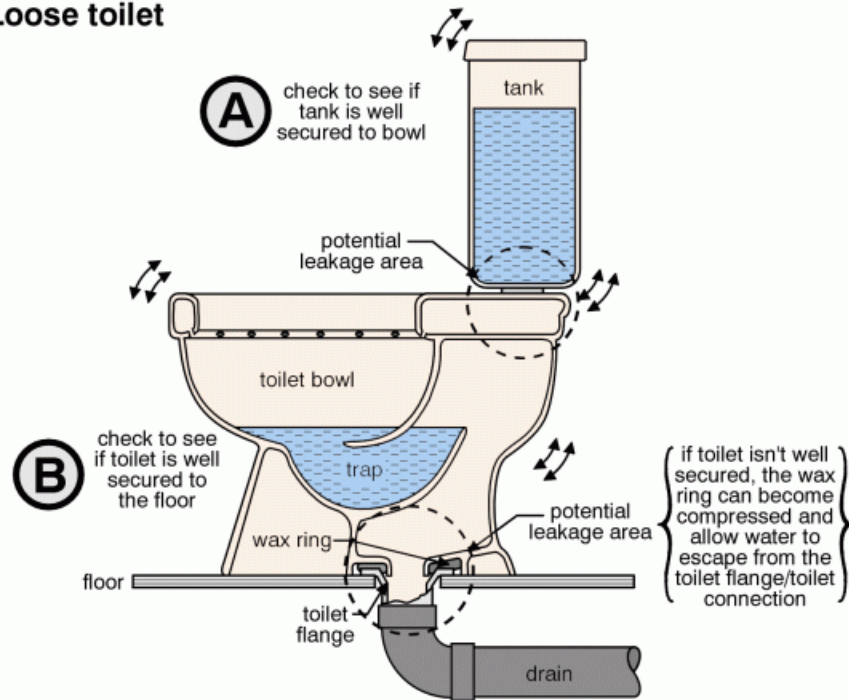
The toilet is loose at the flanges. This may cause a leak in the future if not corrected. The toilet should be secured to the flanges properly to avoid a leak.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Second Floor Bathroom

Task: Improve

Loose toilet



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Description

General: • Interior Pictures



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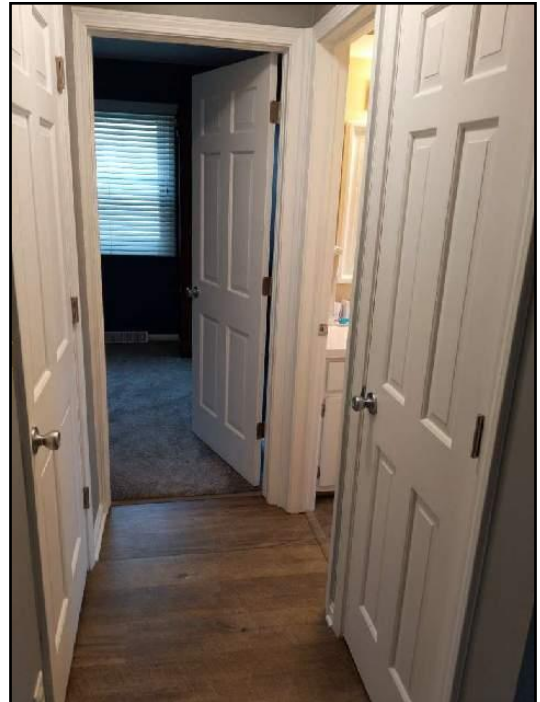
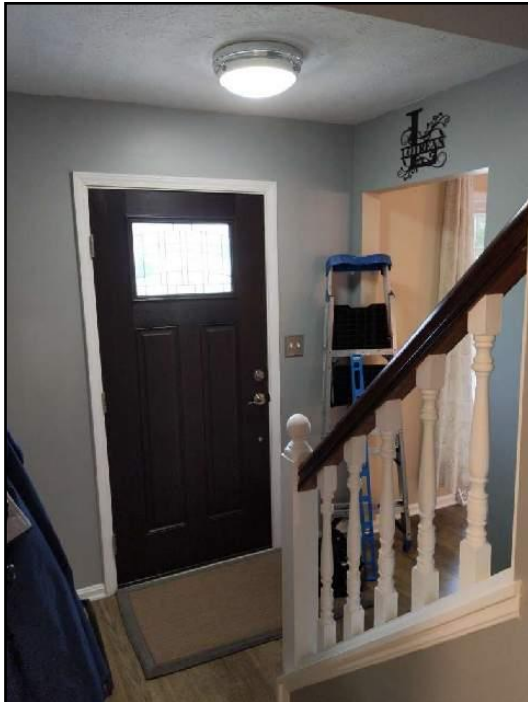
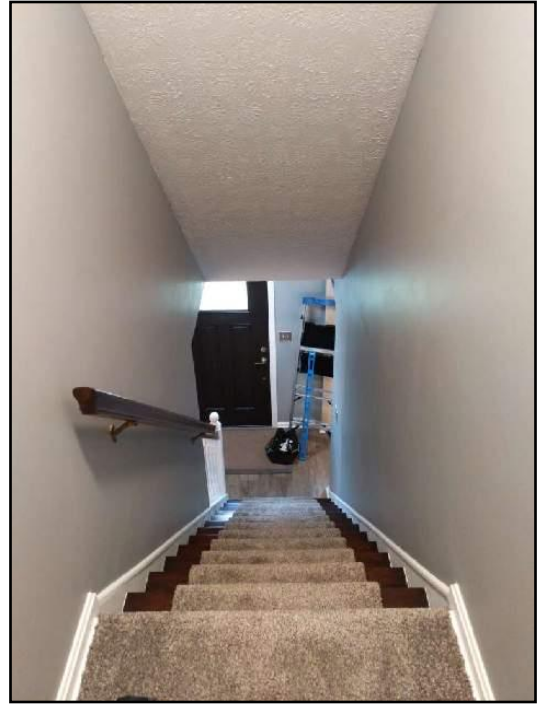
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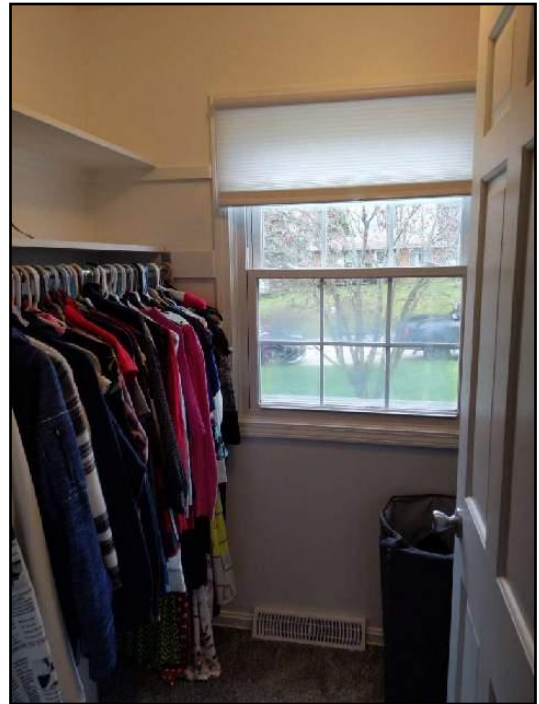
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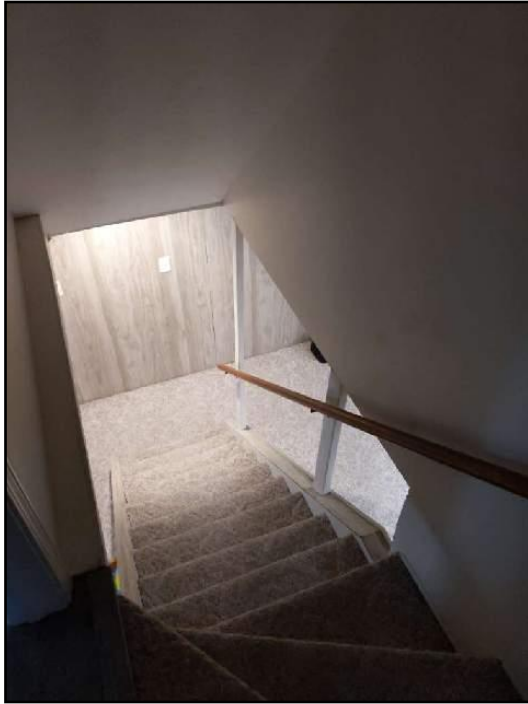
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Major floor finishes: • [Carpet](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#)

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Exterior doors - type/material: • [Metal](#)

Laundry facilities: • Laundry tub • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Gas piping

Kitchen ventilation: • Recirculating type

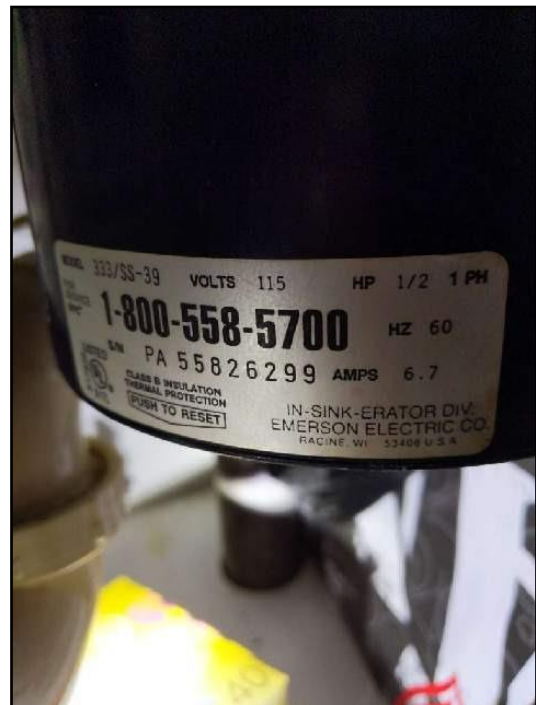
Kitchen ventilation: • Window

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Inventory Garbage disposal (food waste grinder): • In-Sink-Erator

Model number: 333/SS-39 Serial number: PA 55826299



Inventory Dishwasher: • Samsung

Model number: DW80N3030US Serial number: B078GADM400966B

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Inventory Range: • Samsung

Model number: NX58H5600SS/AA *Serial number:* 0BGG7DDMA10059A

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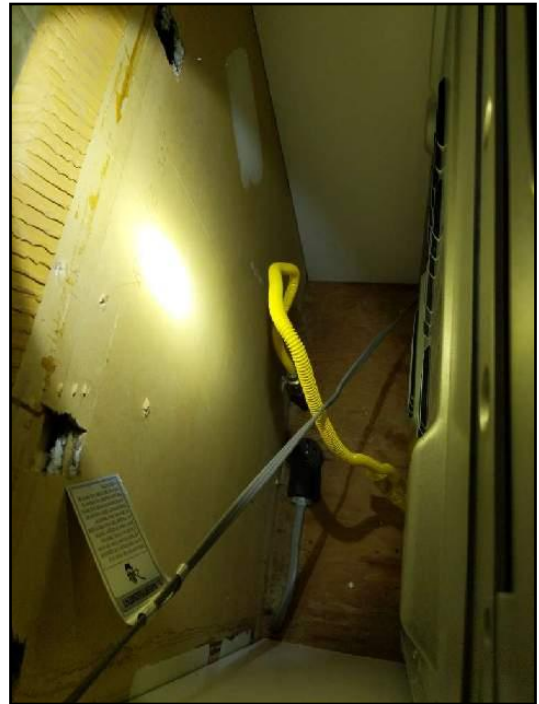
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Inventory Refrigerator: • Samsung

Model number: RF18HFENBSR *Serial number:* 0G7K4DBM904893N



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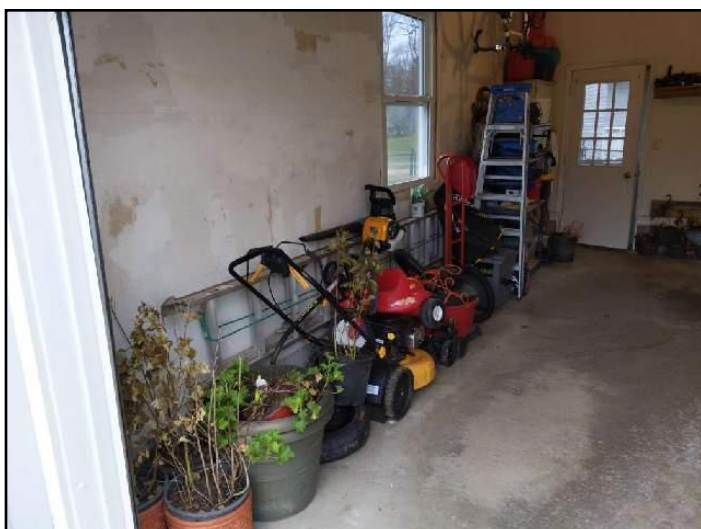
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Limitations

Inspection limited/prevented by:

- Storage/furnishings
- Garage



Recommendations

CEILING \ General notes

Condition: • Patched

The ceiling has been patched. I recommend asking the sellers for a disclosure as to why the ceiling was patched. The thermal imager did not detect a thermal anomaly.

Implication(s): Chance of damage to contents, finishes and/or structure

Location: Family Room

Task: Request disclosure



Condition: • The garage wall and ceiling is under construction. Patching was observed. The walls need scraped / sanded, filled with joint compound, and painted for aesthetics.

Location: Garage

Task: Improve



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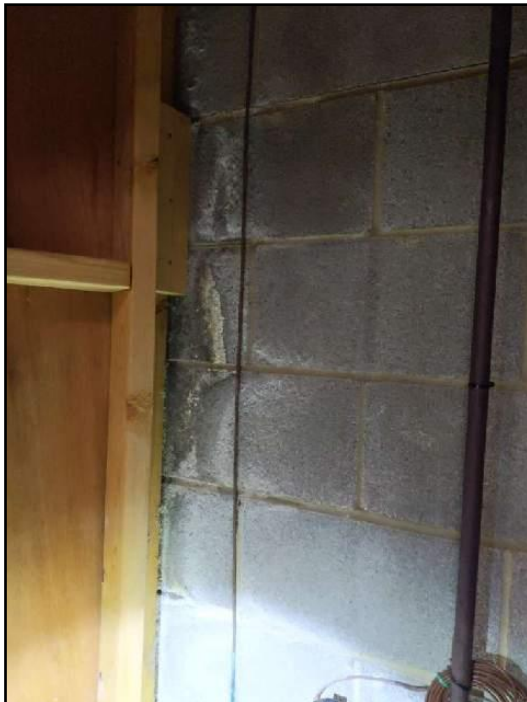
WALLS \ Masonry or concrete

Condition: • [Efflorescence](#)

Efflorescence is visible on the foundation wall. Efflorescence is a crystalline or powdery deposit of salts often visible on the surface of concrete. It occurs when water leaves behind salt deposits on the masonry surface. The moisture meter alarmed to active water within the blocks at the time of the inspection. I recommend grading the landscaping properly away from the home for proper water drainage and continuous monitoring of this area.

Location: Basement

Task: Improve and Monitor



WINDOWS \ Glass (glazing)

Condition: • [Cracked](#)

The glass has cracked. Sharp edges are not exposed. The glass should be replaced in the near future to avoid potential occupant injury.

Implication(s): Physical injury

Location: Garage

Task: Replace

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Condition: • [Lost seal on double or triple glazing](#)

The windows have lost their seals, creating a fog between the window panes. Once the seal fails, moisture is allowed to seep into the space between the two pieces of glass. I recommend hiring a qualified window contractor to repair the windows.

Implication(s): Shortened life expectancy of material

Location: Second Floor West Bedroom, First Floor Bathroom, and First Floor Bedroom

Task: Repair or Replace



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DOORS \ Interior trim

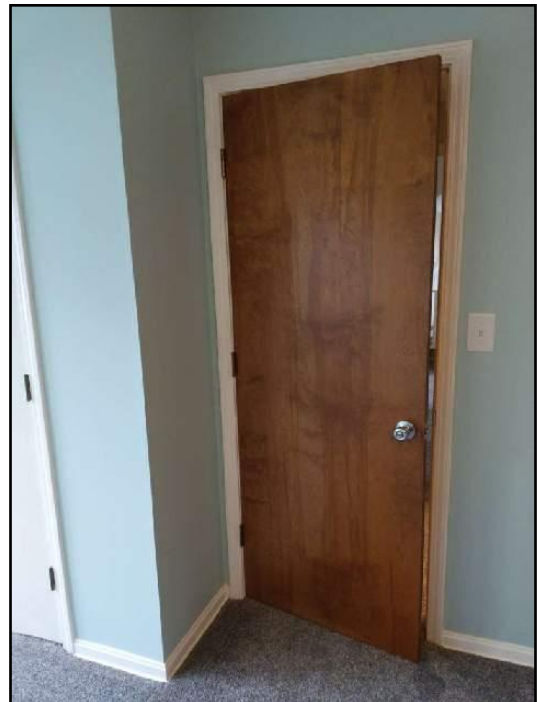
Condition: • [Doorstops missing or ineffective](#)

Door stops are missing. Door stops help prevent the door hardware from coming in direct contact with and damaging the wall.

Implication(s): Chance of damage to finishes

Location: Second Floor Bathroom, Second Floor West Bedroom, and Basement Door

Task: Improve



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STAIRS \ Guardrails

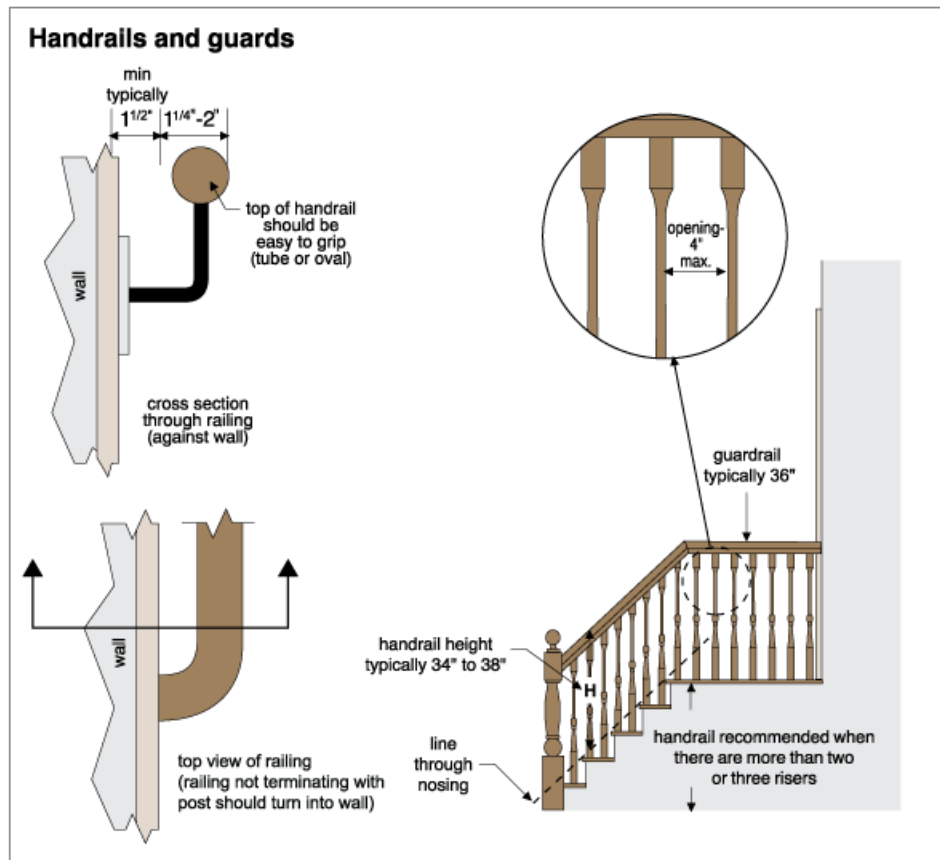
Condition: • [Missing](#)

Vertical guardrails are missing. This poses a safety issue especially with smaller children. Vertical guards spaced four inches apart should be installed for safety.

Implication(s): Fall hazard

Location: Basement Stairway

Task: Improve



GARAGE \ Door between garage and living space

Condition: • [No self closer](#)

The garage door between an attached garage and a house must be self-closing as a protection against fire. I recommend installing a self closing latch for safety.

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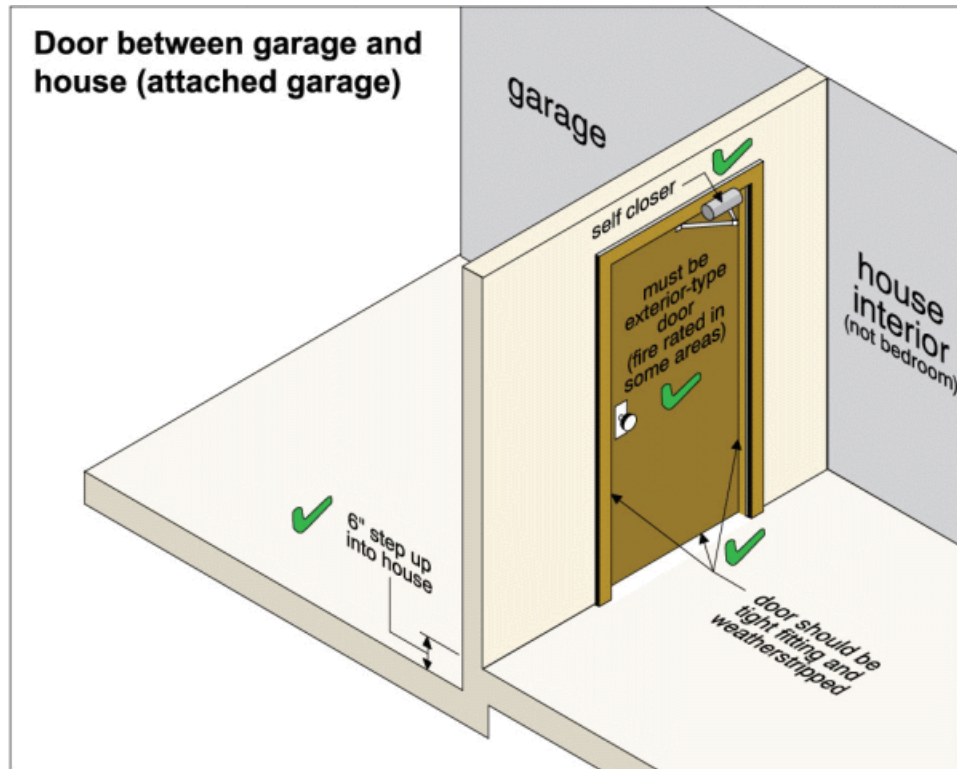
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Implication(s): Hazardous combustion products entering home

Location: First Floor Garage Entrance

Task: Improve



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END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

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» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS